

An aerial photograph of a city skyline, heavily filtered with a dark blue color. The central focus is a large, modern building with a distinctive facade of vertical, slightly curved panels that create a checkered or grid-like pattern. Other buildings of varying heights and architectural styles are visible in the background and foreground, creating a dense urban landscape. The overall tone is professional and architectural.

# SEAPORT CIRCLE



Introduction  
R&D Lab / Office  
Amenities  
Pavilion  
Neighborhood  
Team

( This presentation is interactive. Click to jump to any section. )



Introduction

R&D Lab / Office

Amenities

Pavilion

Neighborhood

Team

# Fostering the Future of Discovery

Seaport Circle goes beyond the traditional life science development—it empowers people to foster innovation and the future of discovery. As a self-sustained ecosystem, Seaport Circle offers its tenants a unique infrastructure, advanced labs and workspaces, and a dynamic location. Seaport's Circle's ability to encourage curiosity, harness ingenuity, and provide a pipeline of talent to the life science industry, will drive the biotech economy from Boston to the rest of the world.



650K SF

Life Science HQ Development in  
Boston's Innovation District

TRAINING  
PAVILION

for DEI-Focused Outreach with  
Nonprofit Partnerships

Dedicated

SILVER LINE  
MBTA STOP

for City-Wide Access

20K SF

of Retail & Tenant Amenities





SEAPORT CIRCLE IN THE EVENING



AMENITIES

25K-65K SF  
Floor Plates

60/40  
Lab/Office Split

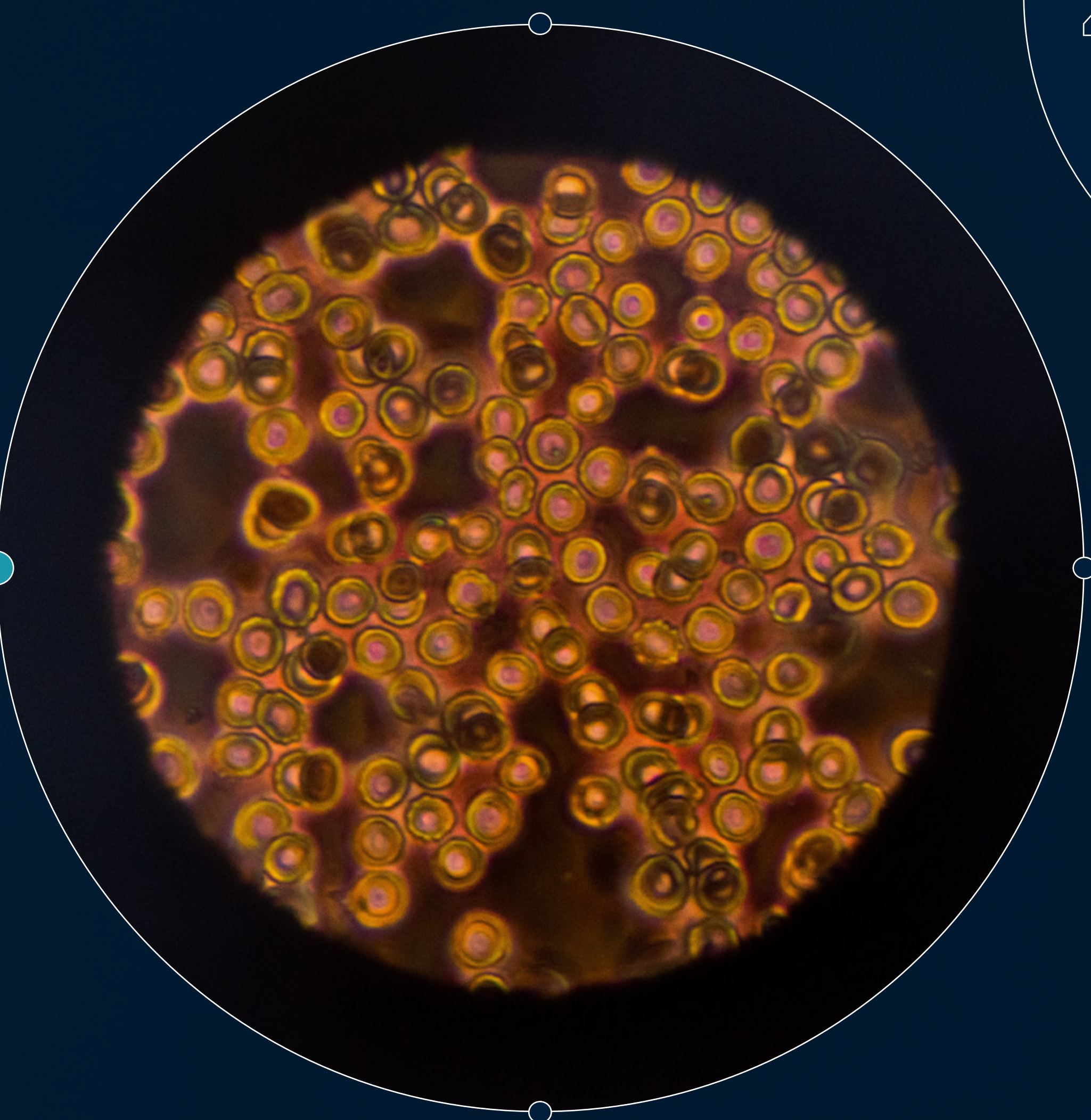
R&D LAB /  
OFFICE

PAVILION

12'6"  
Floor-to-Floor Ceiling Heights  
on Office Levels 11-12

14'6"  
Floor-to-Floor Ceiling  
Heights on Lab Floors 3-10

RETAIL





# AMENITIES

15K SF  
Total Space

On-site  
**MICRO-MOBILITY**  
Hub

R&D LAB /  
OFFICE

PAVILION

Direct  
**SILVER  
LINE**  
Access



RETAIL

**GREEN  
ROOF**  
with Accessible Deck

AMENITIES

COMMUNITY TRAINING

Labs

16K SF

Total Space

R&D LAB / OFFICE

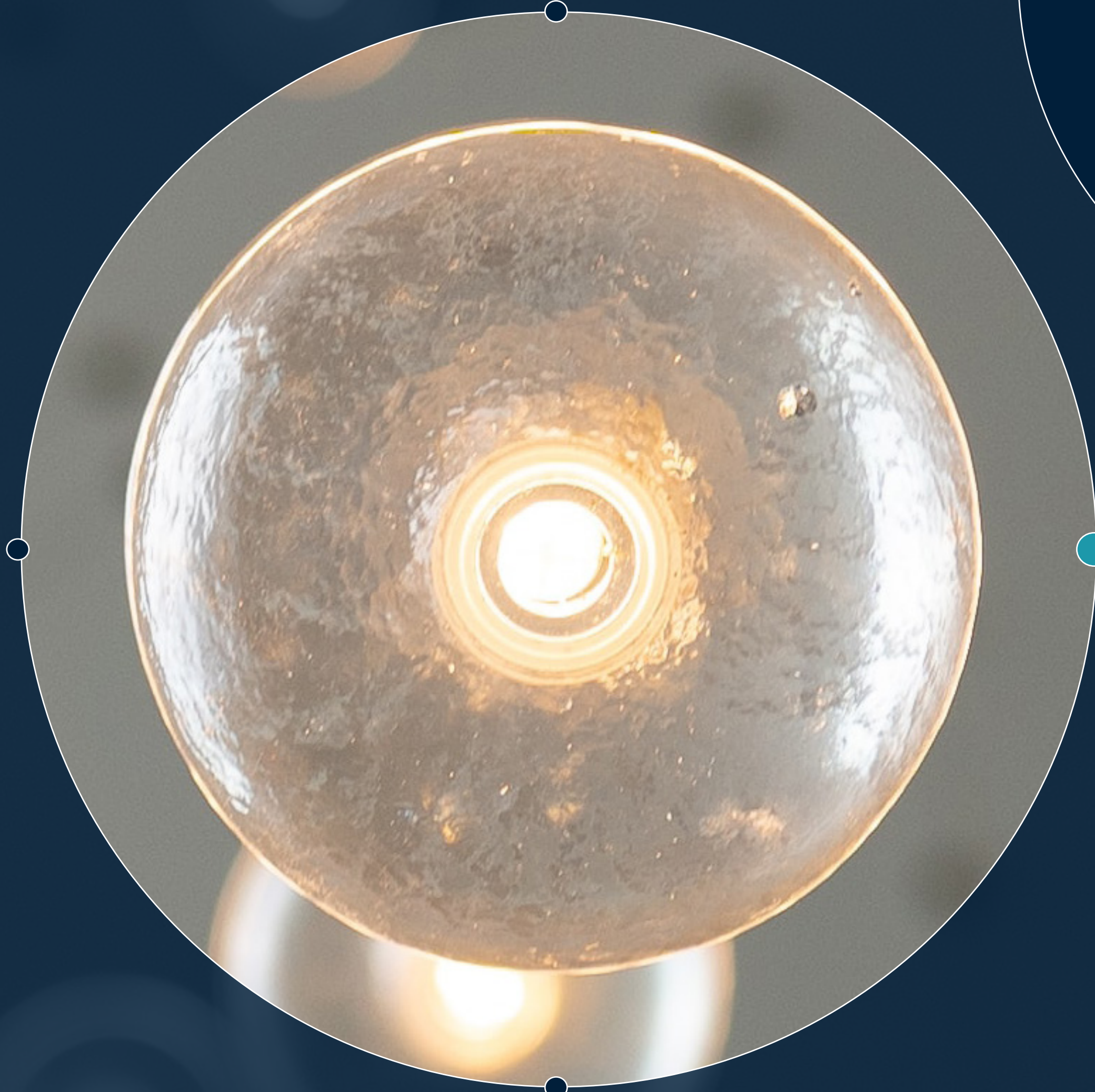
PAVILION

STEM

Training and Career Center

RETAIL

Dedicated  
EVENTS PROGRAM



AMENITIES

PEDESTRIAN  
LINK

to Ora Seaport  
and Hyatt Place Boston

5K SF  
Total Space

R&D LAB /  
OFFICE

PAVILION

POP-UP  
ART &  
RETAIL  
Program

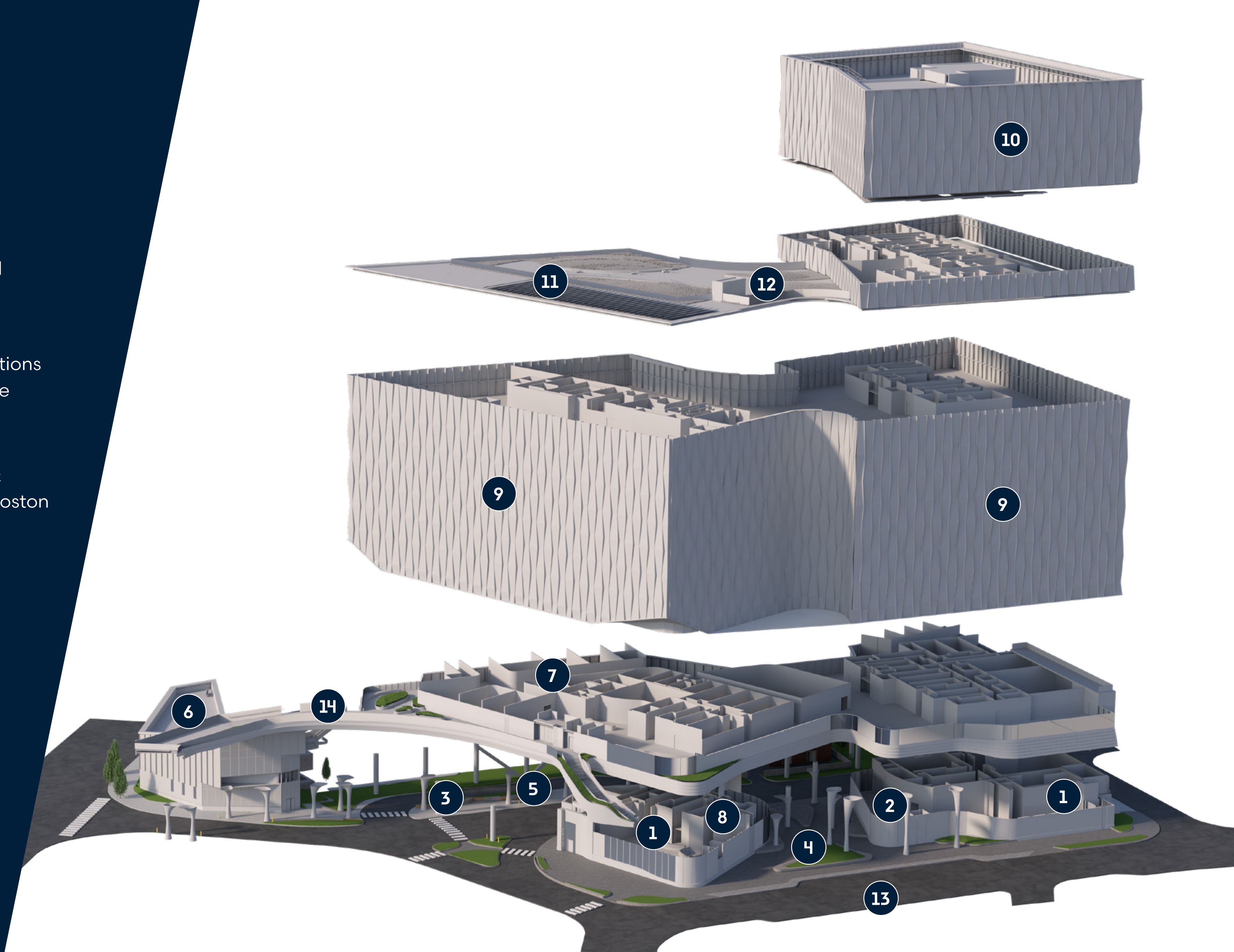
On-site  
FOOD &  
BEVERAGE

RETAIL



## DEVELOPMENT MAP

1. Retail: Café's & Pop-Up Programming
2. West Tower Office Lobby: Designed with Direct Views to Silver Line Platforms
3. Grade-Separated Crossing for Outbound Boarding of Silver Line
4. Entry Plaza: Public Space Designed to Support Art & Pop-up Retail with Connections to Silver Line Platforms and Podium Above
5. MBTA Booth
6. Pavilion Training & STEM Career Center & Training Labs with Outreach to Greater Boston
7. Incubator Labs
8. East Tower Lobby
9. Lab Floors
10. Office Floors
11. Green Roof
12. Occupiable Roof Deck
13. Drop-off/Pick-up Zone at Congress St
14. Green Connector to Ora





Introduction

R&D Lab / Office

Amenities

Pavilion

Neighborhood

Team

# Lab & Office Spaces Designed for Innovation

2.0 CFM

Per SF in Lab Spaces

0.3 CFM

Per SF in Office Spaces

15W

Per SF in Lab Spaces

8W

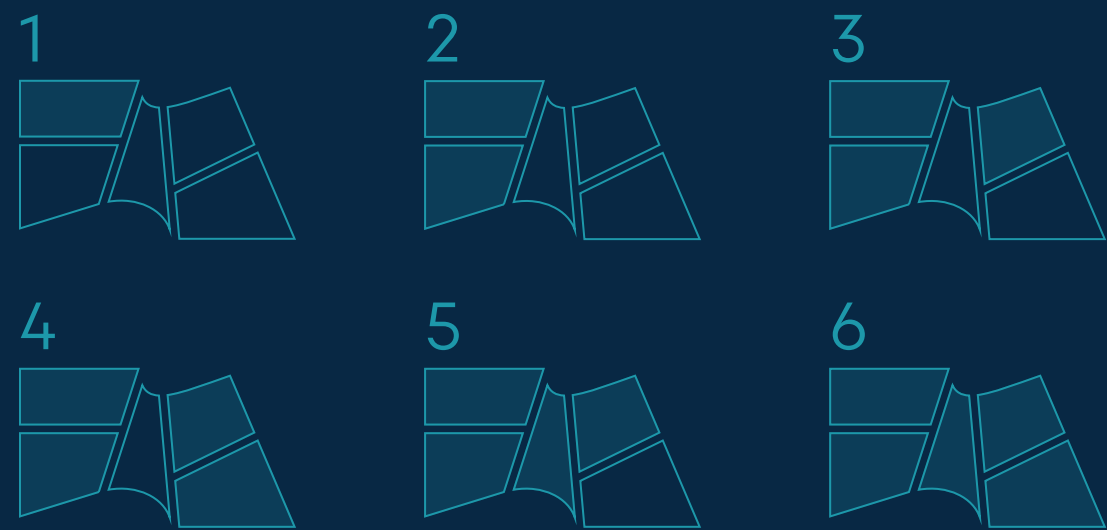
Per SF in Office Spaces



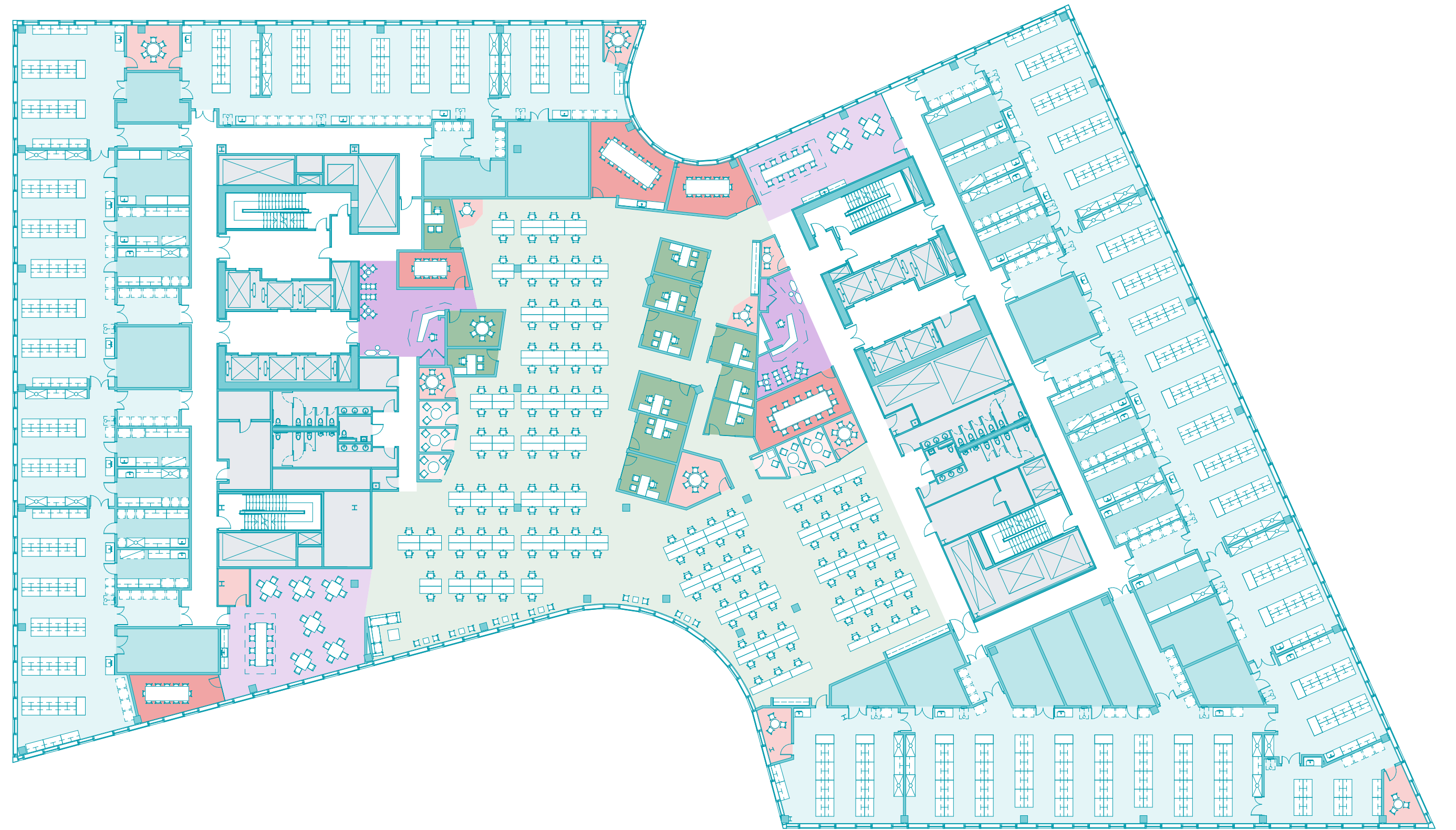


# Lab / Office Typical Test Fit

- Lab
- Lab Support
- Open Office
- Office
- Phone
- Huddle
- Conference
- Kitchenette
- Reception
- Core



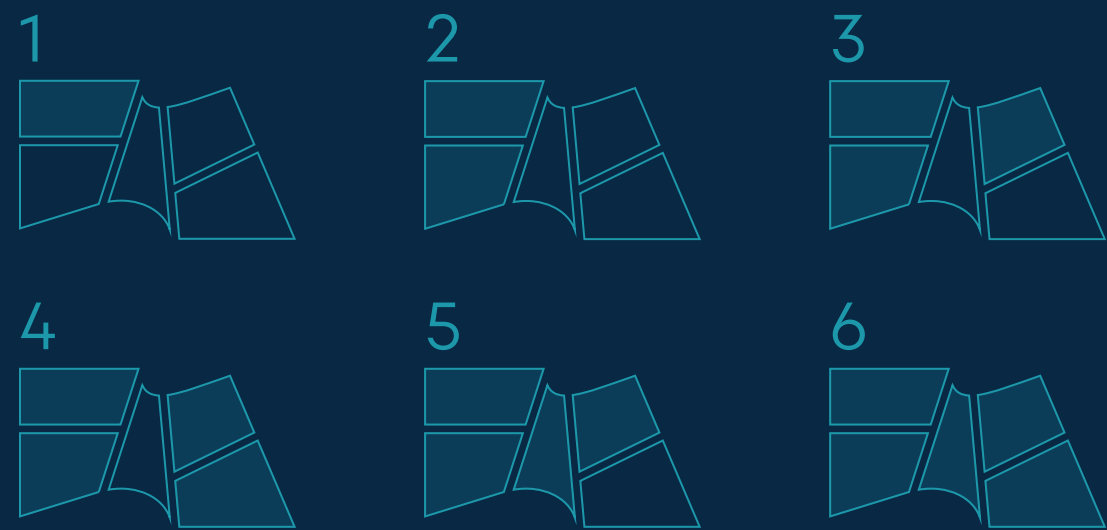
Floor Plate Configurations (above)



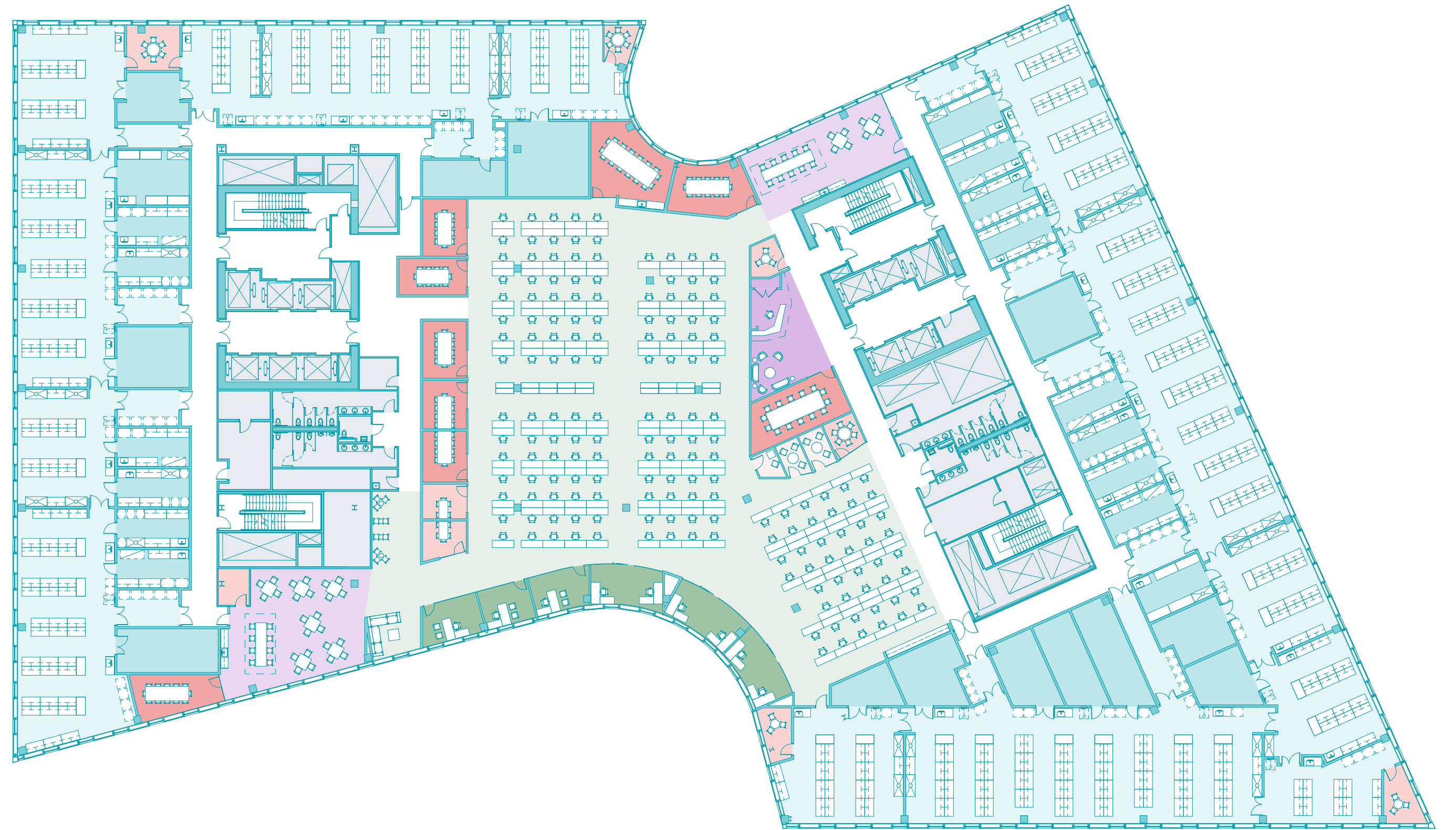


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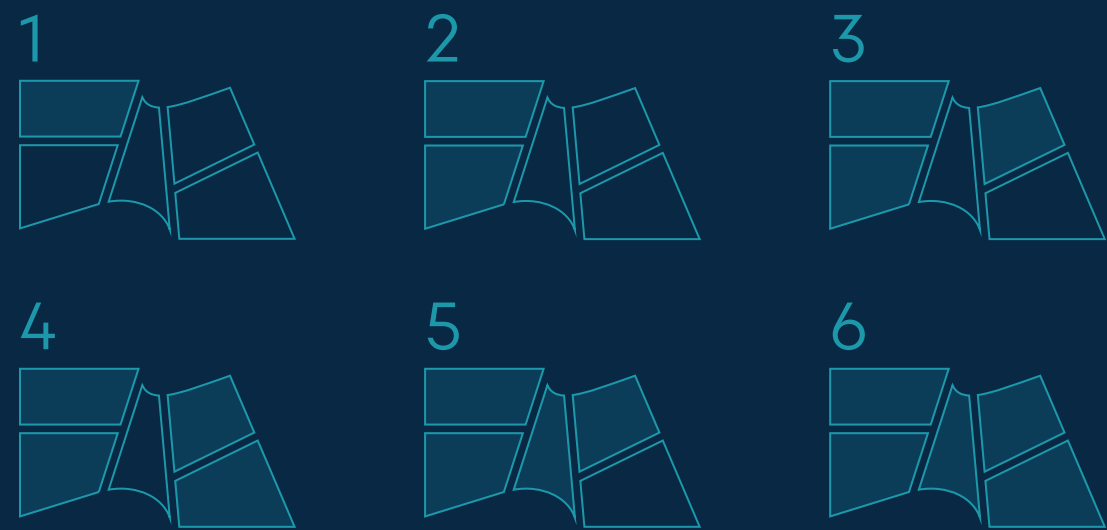


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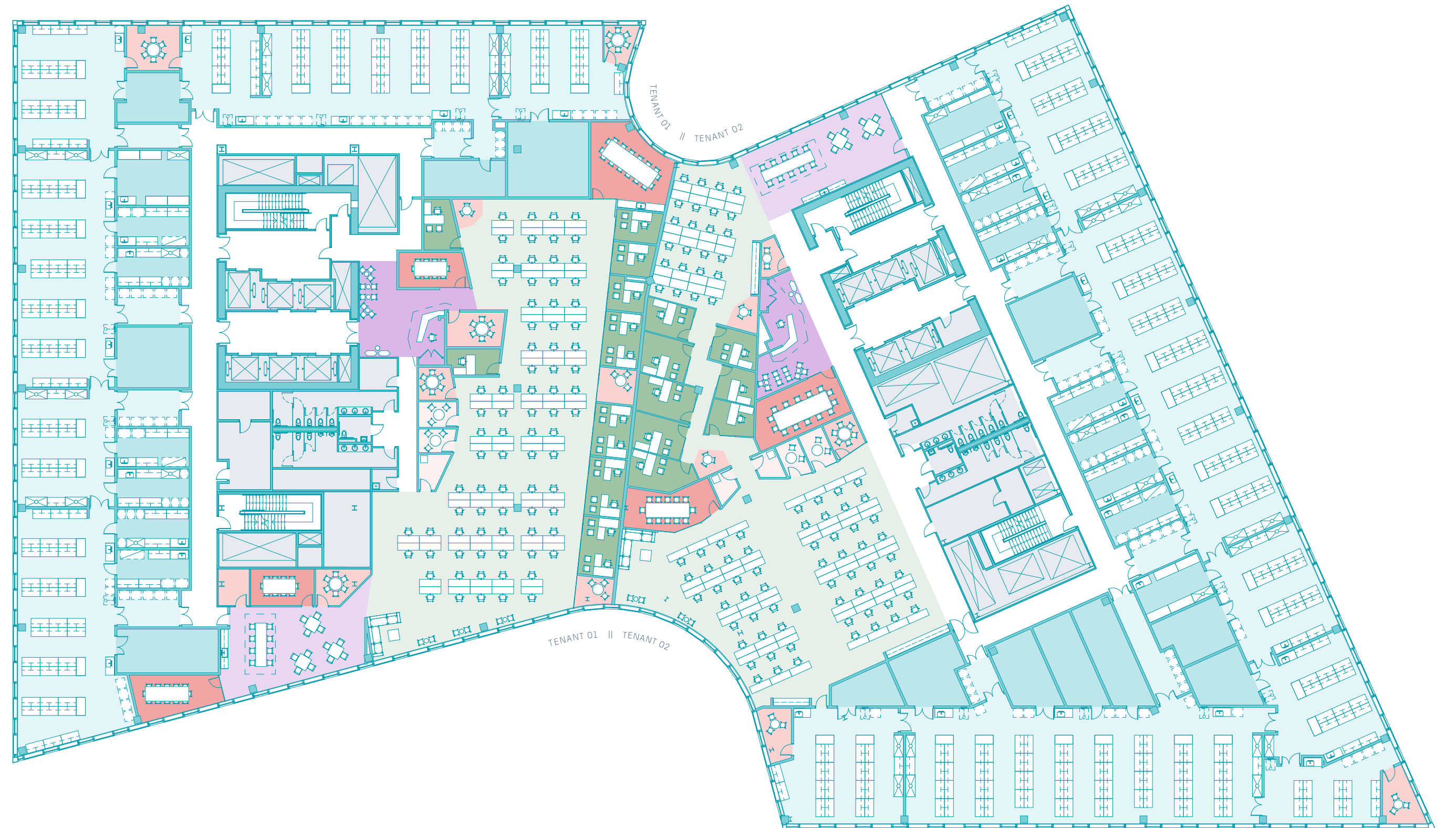
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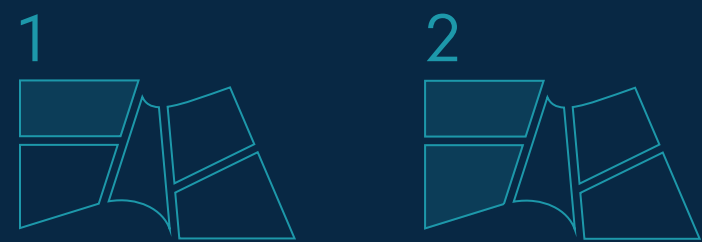
Floor Plate Configurations (above)

1 TENANT A 1 TENANT B 2 TENANT



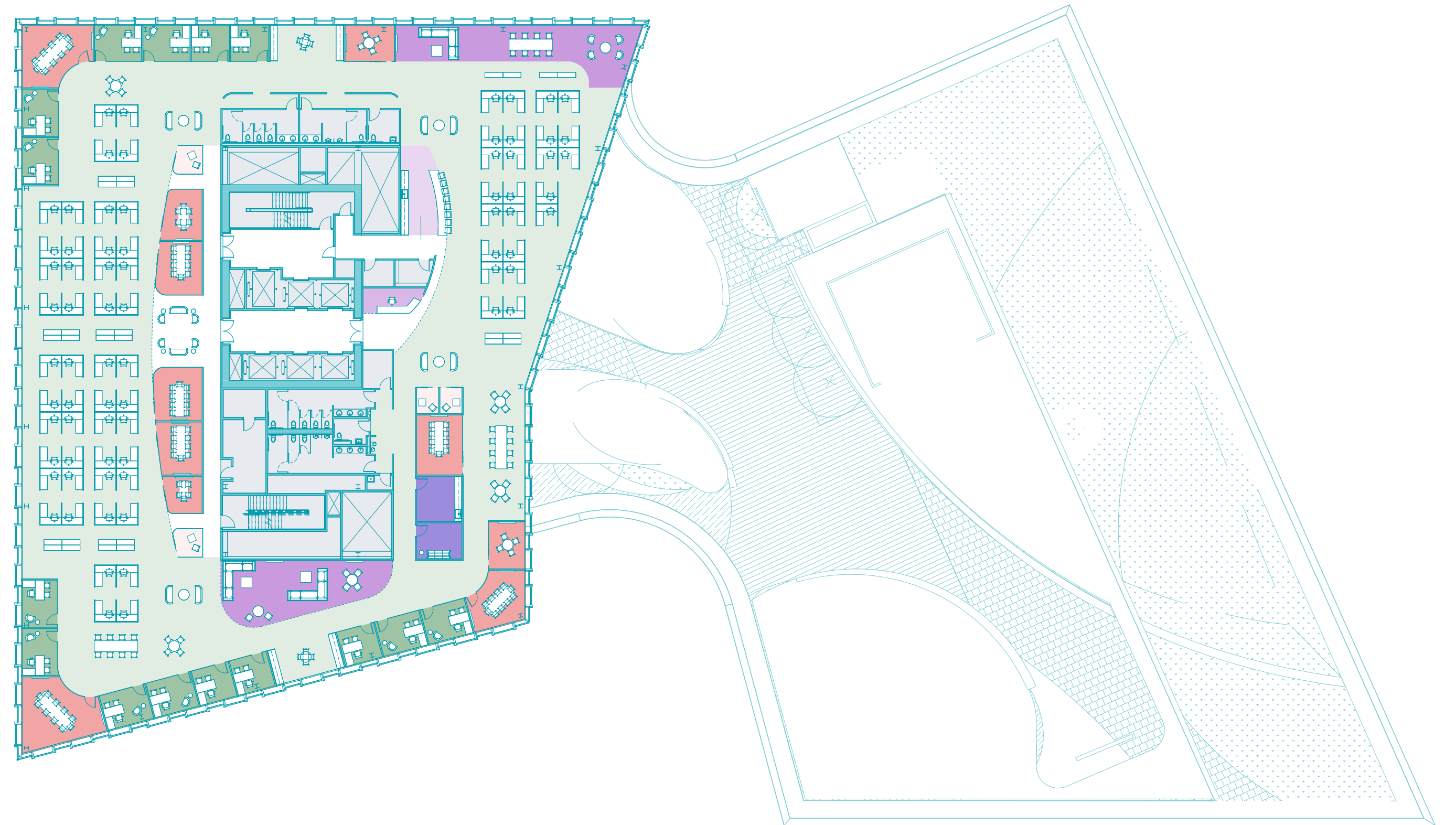
# Office Typical Test Fit

- Open Office
- Office
- Phone
- Conference
- Breakout Space
- Wellness/Mothers'
- Kitchenette
- Reception
- Core



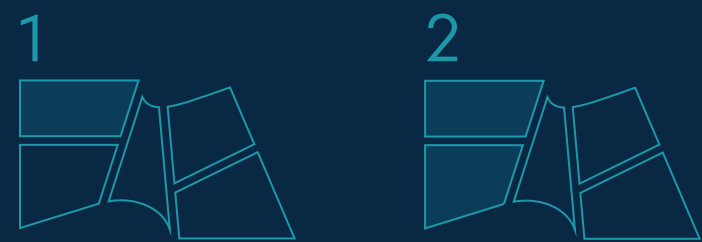
Floor Plate Configurations (above)

**1 TENANT**    2 TENANT



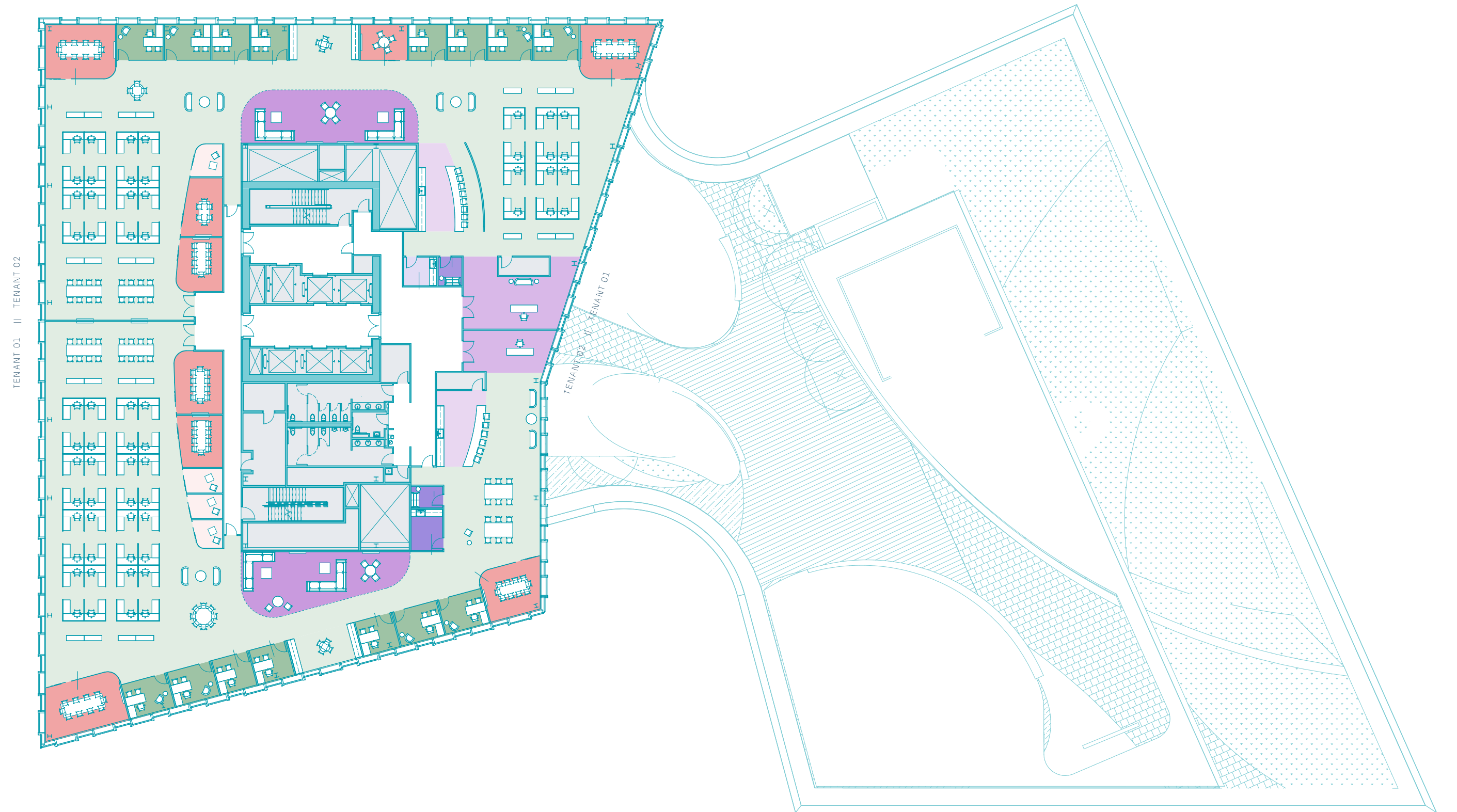
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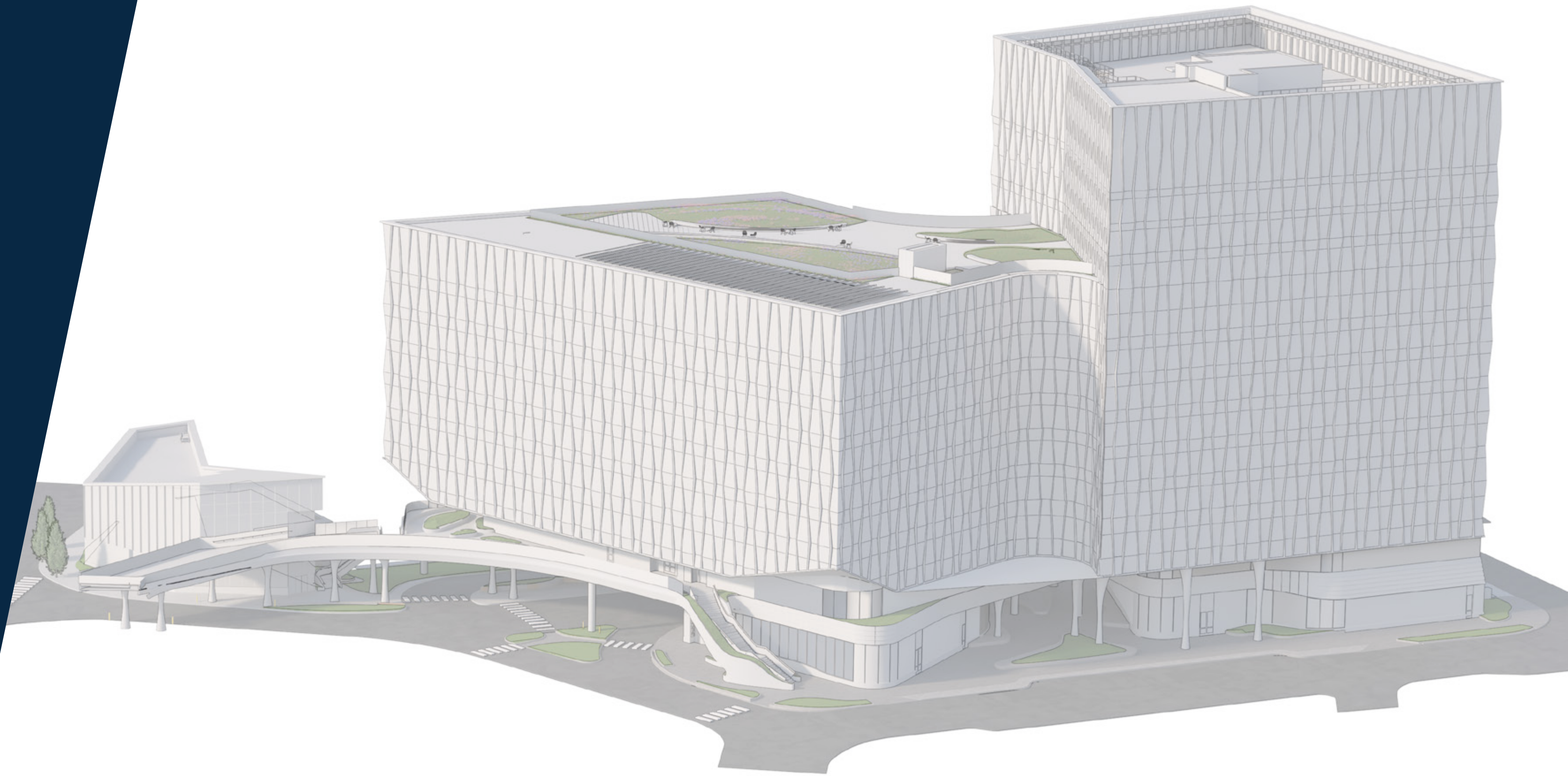
Floor Plate Configurations (above)

1 TENANT    2 TENANT



☰ R&D LAB / OFFICE

Penthouse	N/A	Mech.
Level 12	30,756 RSF	Office
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Level P1	N/A	Parking



» LAB SERVICES

CENTRAL TWO-STAGE ACTIVE  
pH NEUTRALIZATION SYSTEM

DEDICATED CHEMICAL  
STORAGE ROOMS

LAB WASTE AND VENT RISERS;  
COMPRESSED AIR PIPE RISERS;  
VACUUM PIPE RISERS

AVAILABLE PENTHOUSE SPACE  
FOR LAB SUPPORT EQUIPMENT

60 LAB / 40 OFFICE RATIO  
ON LEVELS 3-10

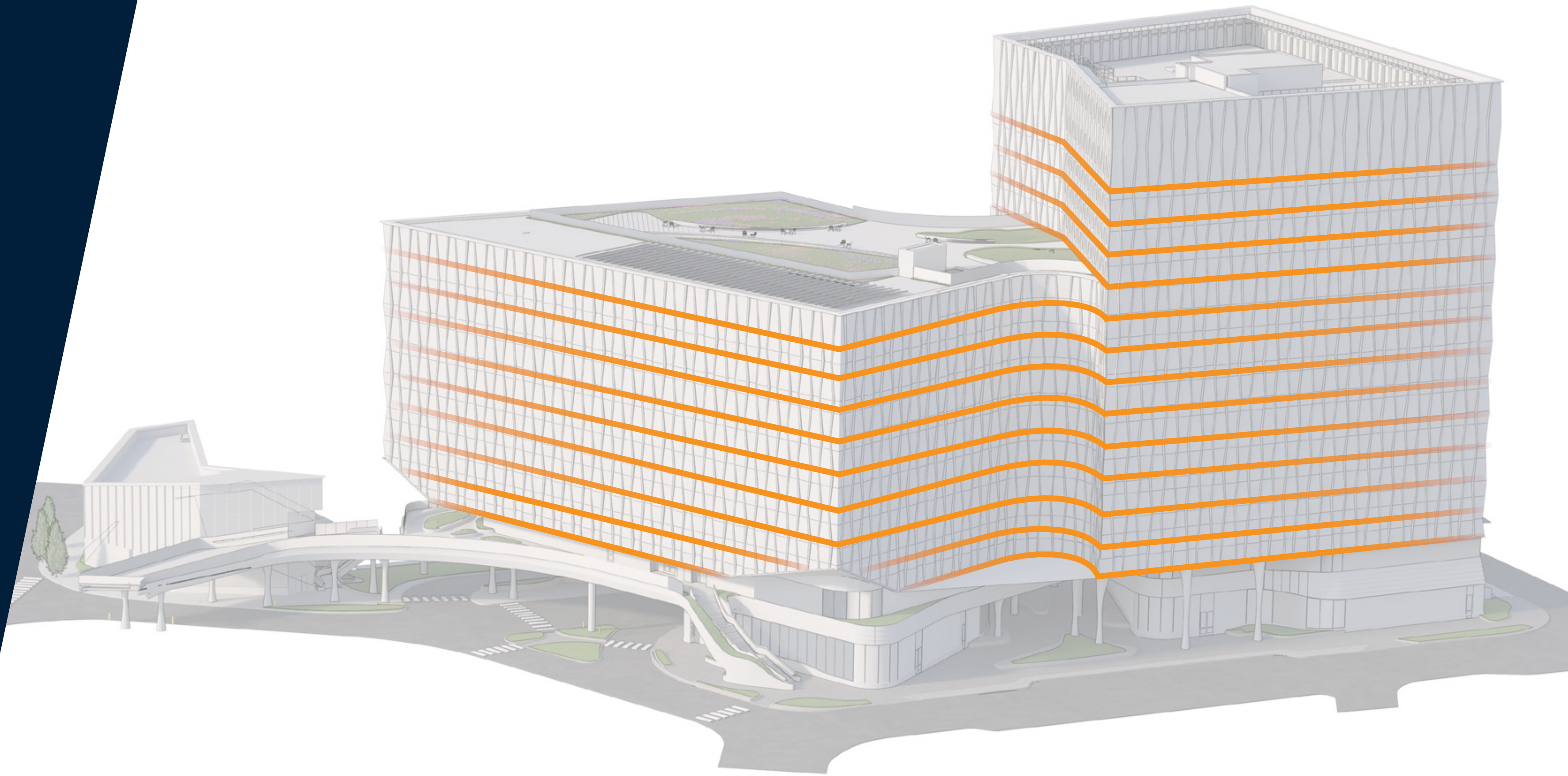
FAÇADE

STRUCTURE

ELEVATORS

HVAC

ELECTRICAL



LAB SERVICES

» **FAÇADE**

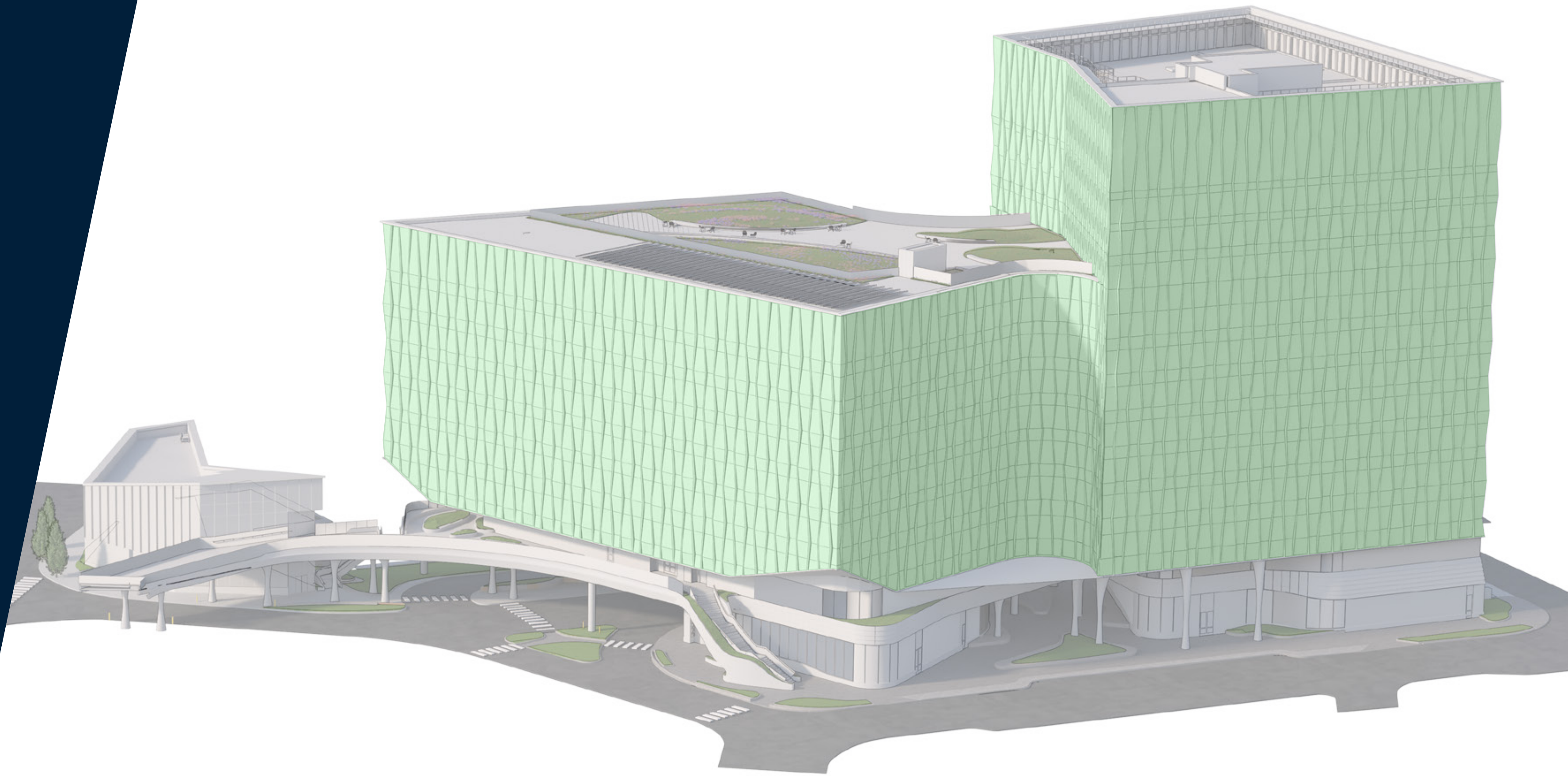
TRIPLE GLAZED GLASS  
CURTAINWALL SYSTEM

STRUCTURE

ELEVATORS

HVAC

ELECTRICAL



LAB SERVICES

FAÇADE

» **STRUCTURE**

33' OC COLUMN SPACING

CONCRETE SLABS ON METAL DECK  
WITH FLOOR CAPACITY OF 100 LB/SF

LEVELS 2-3 HAVE 16'0"  
FLOOR-TO-FLOOR HEIGHT

LEVELS 4-8, & 10 HAVE 14'6"  
FLOOR-TO-FLOOR HEIGHT

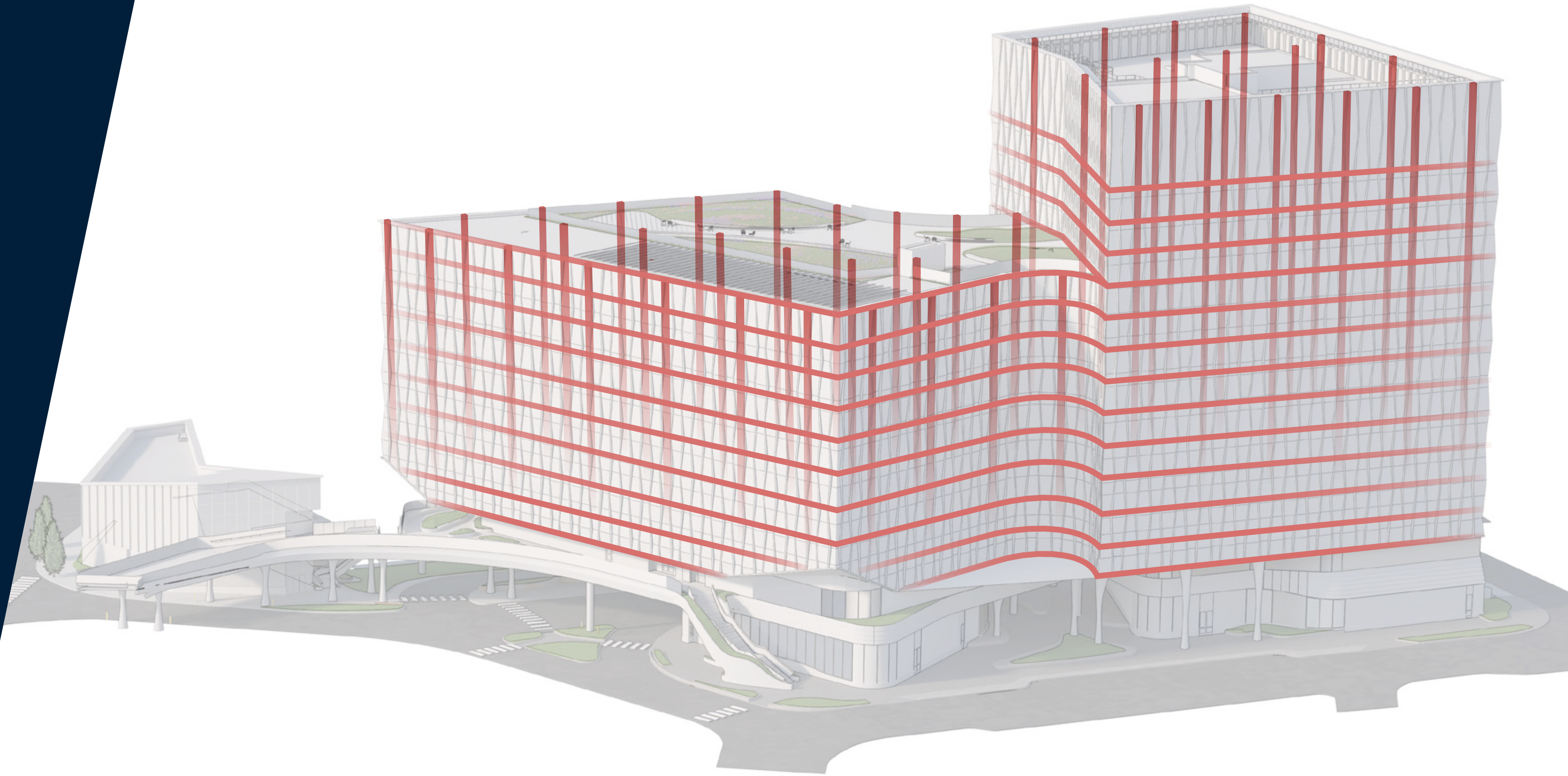
LEVEL 9 HAS 18'6"  
FLOOR-TO-FLOOR HEIGHT

LEVELS 11-12 HAVE 12'6"  
FLOOR-TO-FLOOR HEIGHT

ELEVATORS

HVAC

ELECTRICAL





LAB SERVICES

FAÇADE

STRUCTURE

» **ELEVATORS**

**EAST CORE:**

FOUR (4) PASSENGER 500 FPM,  
3,500 LB CAPACITY ELEVATORS.  
ONE (1) FREIGHT 350 FPM,  
5,000 LB CAPACITY ELEVATOR

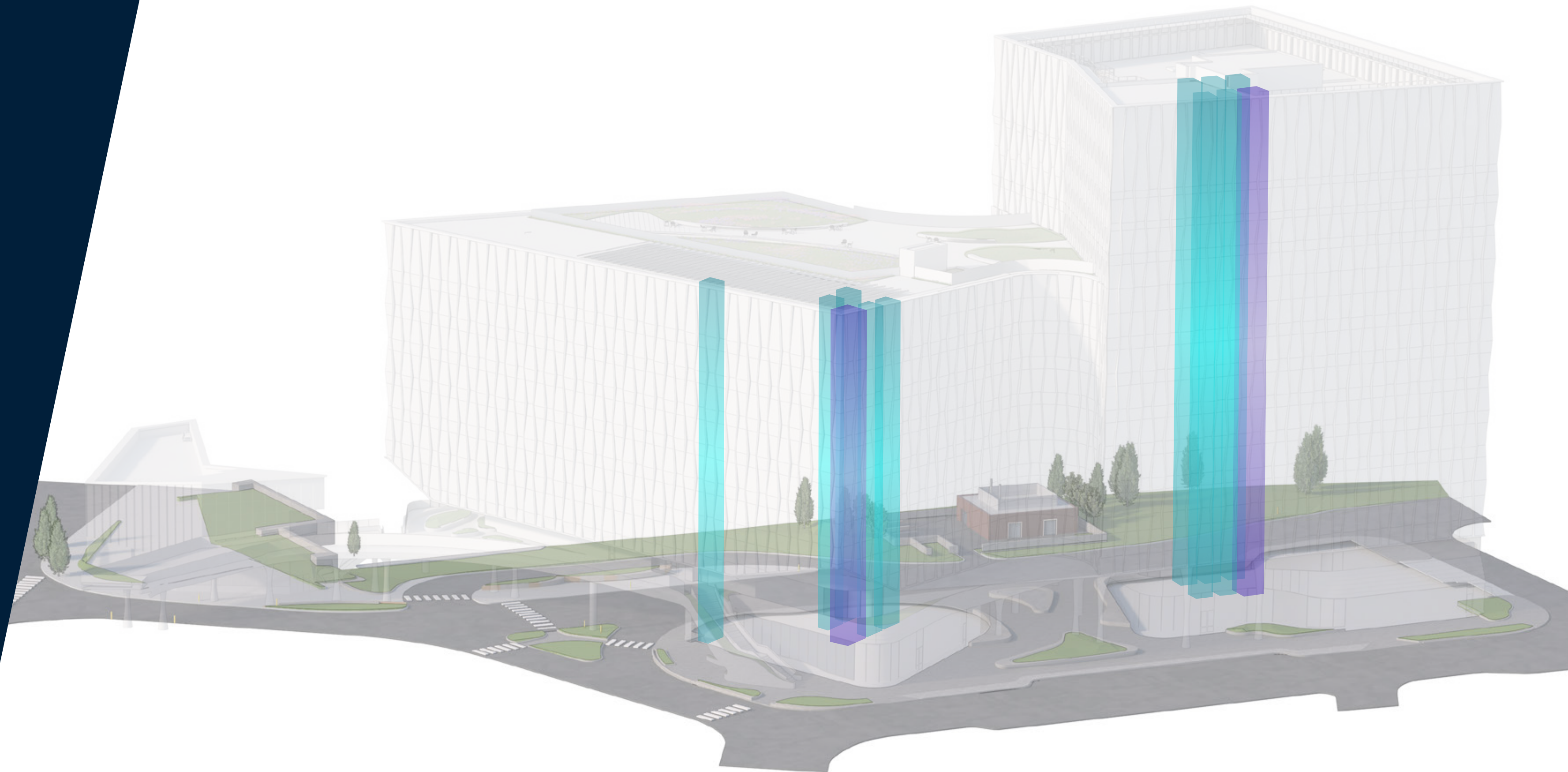
**WEST CORE:**

FIVE (5) PASSENGER 500 FPM,  
3,500 LB CAPACITY ELEVATORS.  
ONE (1) FREIGHT 350 FPM,  
5,000 LB CAPACITY ELEVATOR

DESTINATION DISPATCH

HVAC

ELECTRICAL



■ PASSENGER  
■ FREIGHT

LAB SERVICES

FAÇADE

STRUCTURE

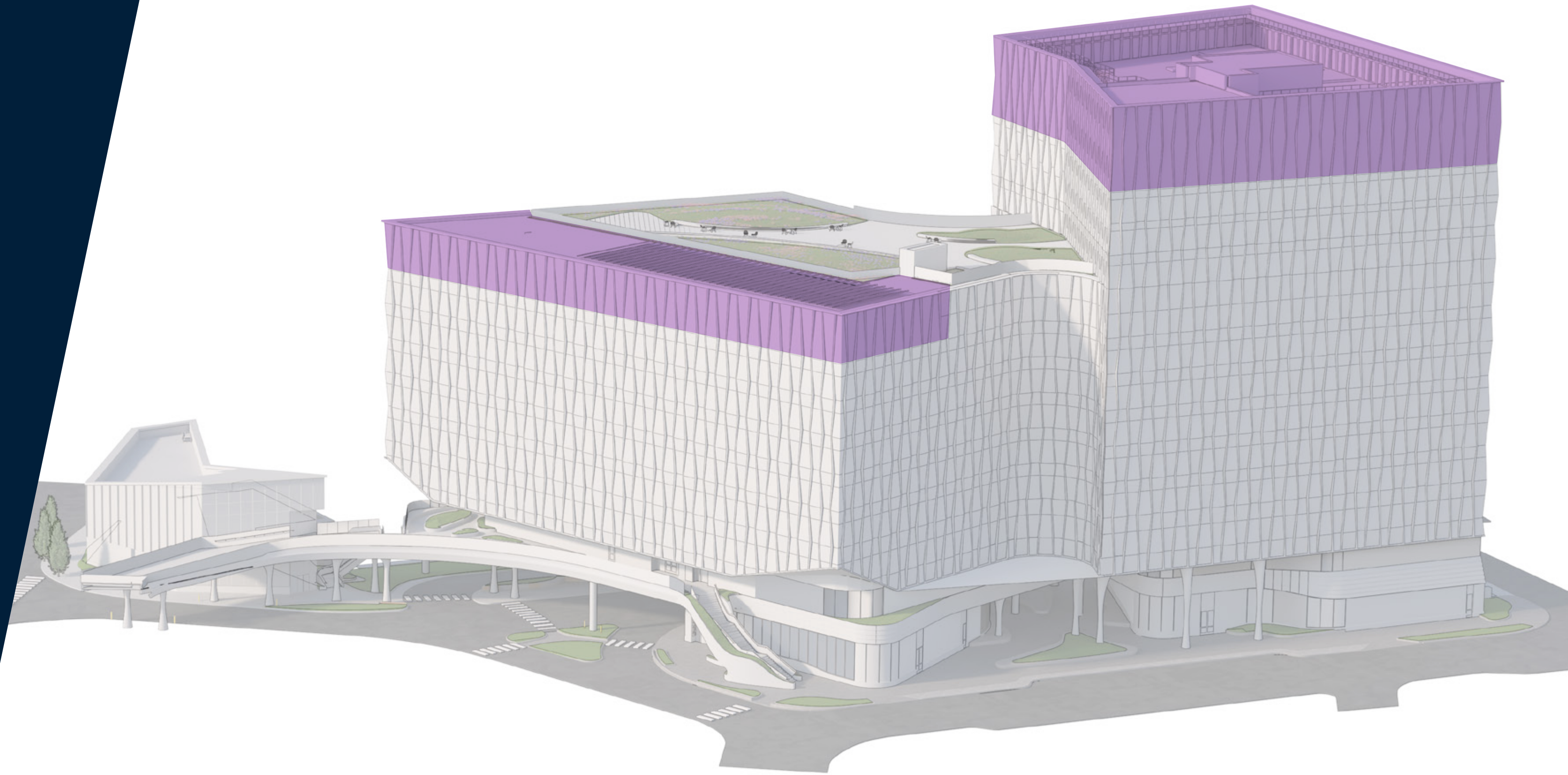
ELEVATORS

» **HVAC**

LAB:  
2 CFM/SF

OFFICE:  
0.3 CFM/SF

ELECTRICAL



LAB SERVICES

FAÇADE

STRUCTURE

ELEVATORS

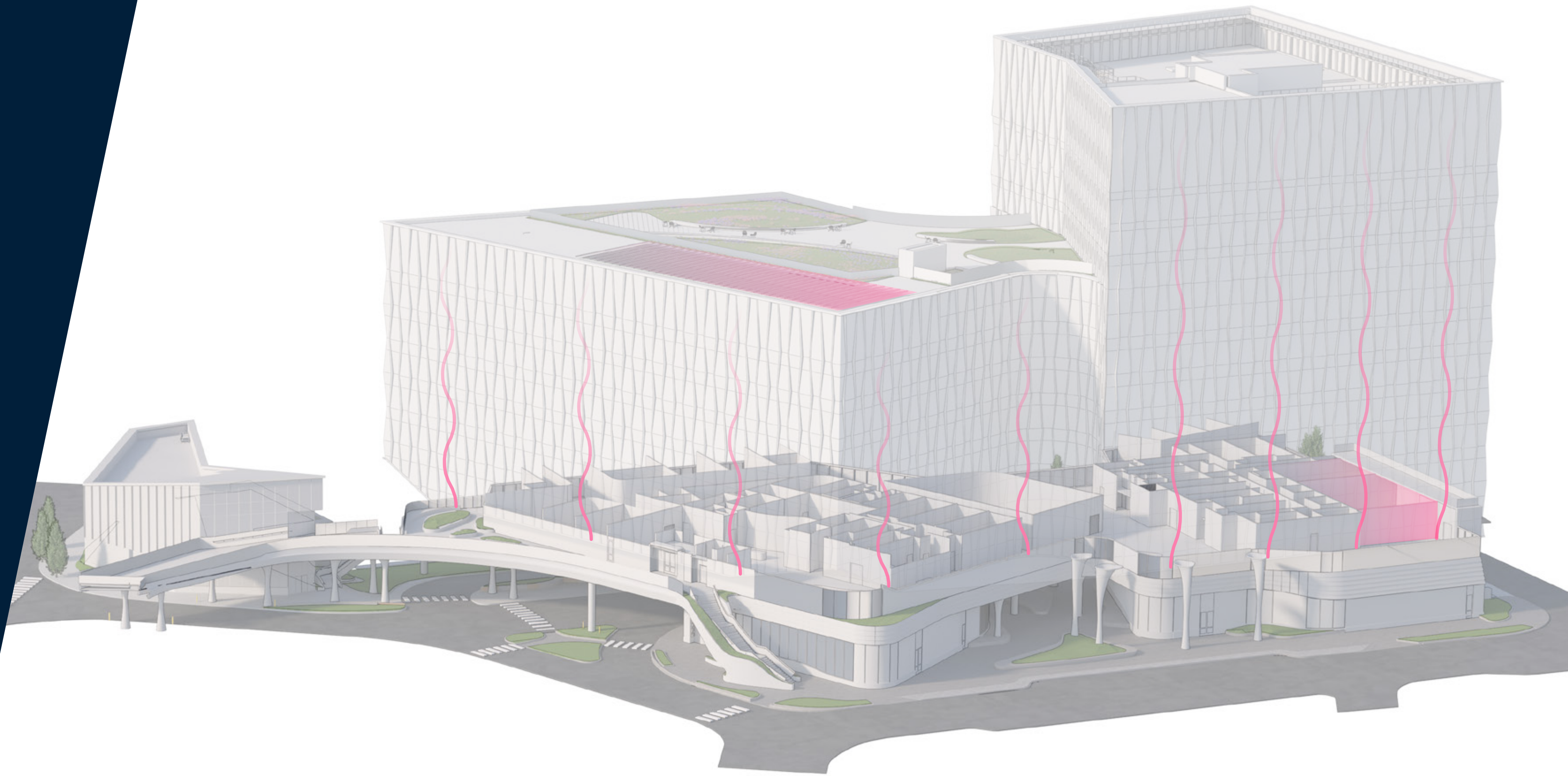
HVAC

» **ELECTRICAL**

15 w/SF IN LAB AND 10 w/SF  
IN OFFICE

ONE (1) 1,250kW EMERGENCY  
DIESEL GENERATOR BUILDING  
STANDBY POWER

ONE (1) 1,500kW DIESEL OPTIONAL  
STANDBY GENERATOR FOR TENANT  
USE (4 w/SF STANDBY CAPACITY)



<b>Total Rentable Area</b>	650,000 SF
<b>Number of Floors</b>	One level of below grade parking; Twelve levels of lab, office, retail, and amenity; Two level mechanical penthouse
<b>Lab-Office Ratio</b>	60/40 on Levels 3-10
<b>Parking Spaces</b>	73 Spaces
<b>Typical Floor Plate</b>	75,000 RSF (Levels 3-8)
<b>Floor-to-Floor Height</b>	Levels 2-3: 16'0" Levels 4-8: 14'6" Level 9: 18'6" (Transfer Floor) Level 10: 14'6" Levels 11-12: 12'6"
<b>Column Spacing</b>	33' OC
<b>Structure</b>	Steel frame, concrete slab on metal deck
<b>Structural Floors</b>	Concrete slabs on metal deck with floor capacity of 100 lb/SF
<b>Façade</b>	Triple glazed glass curtainwall system
<b>Lobbies</b>	Two ground floor lobbies

<b>HVAC Systems</b>	Lab: 2 cfm/SF; Office: 0.3 cfm/SF
<b>Electrical Systems</b>	Lab: 15 w/SF; Office: 10w/SF; Optional Standby Power: 4w/SF
<b>Generators</b>	(1) 1250kW emergency diesel generator building standby power; (1) 1500kW diesel optional standby generator for tenant use; and space for (1) additional 750kW natural gas generator
<b>Lab Services</b>	Central two stage active pH Neutralization System; Chemical Storage Rooms; Lab Waste and Vent Risers; Compressed air pipe risers; Vacuum pipe risers; Available penthouse space for lab support equipment
<b>Security</b>	CCTV; Access Control & Alarm Monitoring
<b>Elevators</b>	East Core: Four (4) 500 fpm, 3,500 lb capacity passenger elevators, One (1) 350 fpm, 5,000 lb capacity freight elevator; West Core: Five (5) 500 fpm, 3,500 lb capacity passenger elevators, One (1) 350 fpm, 5,000 lb capacity freight elevator; Destination Dispatch
<b>Loading Dock</b>	(2) loading bays and (1) trash bay, accessed from Port Lane

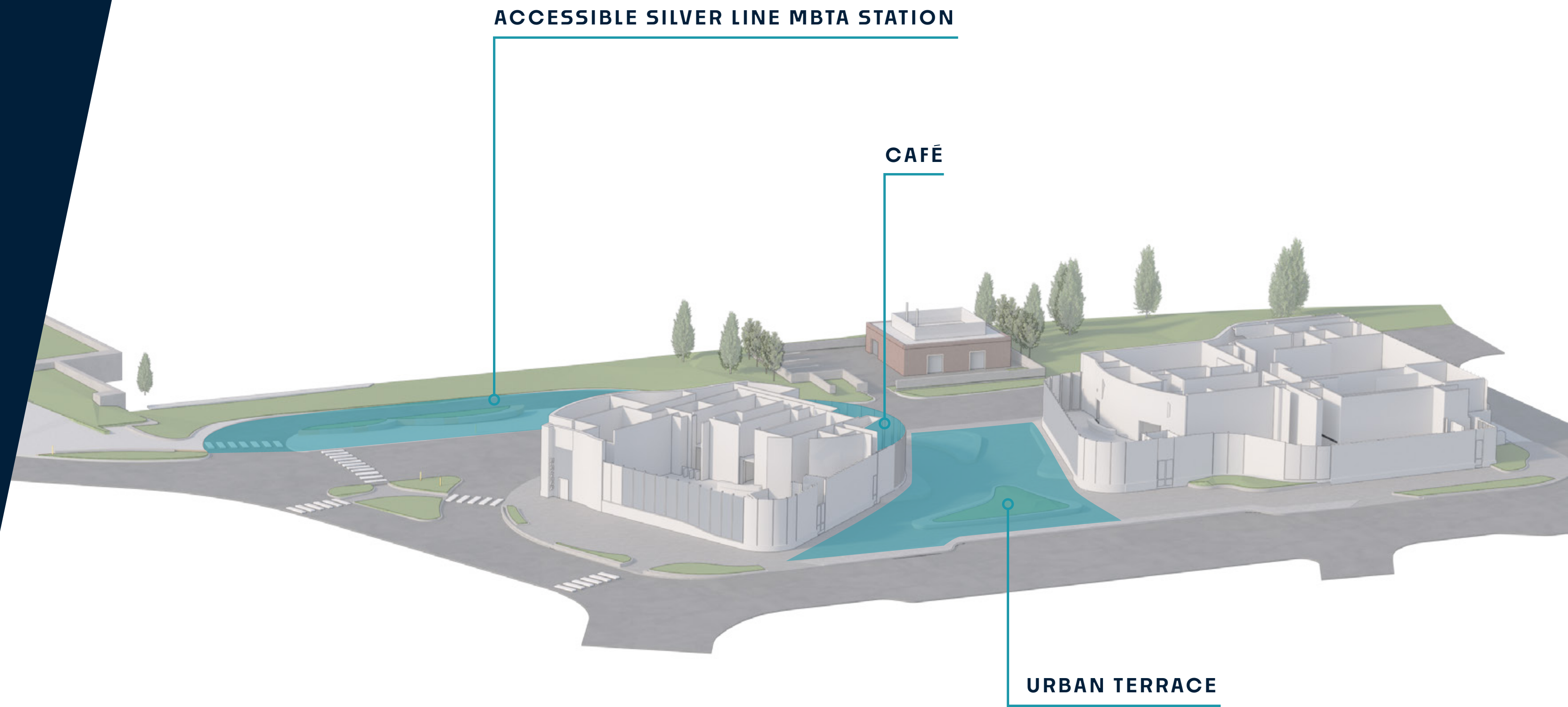
<b>Amenities</b>	Level 10 amenity space, including fitness center and locker rooms, lounge areas, co-working and conference space; Level 10 outdoor roof deck; Tenant decks on Levels 6 & 9; Car charging stations; Bike storage with showers; PV array on Level 10 roof providing power for base building uses
<b>Utilities</b>	Electricity: Eversource; Gas: National Grid
<b>Public Transportation</b>	MBTA Silver Line Station on ground floor
<b>Certifications</b>	LEED Gold (striving for Platinum) Wired Score Gold
<b>Other</b>	<ol style="list-style-type: none"> <li>1. Pedestrian link connecting to neighborhood at large with landscaped walkway and waterfront view—excellent for programmed activities.</li> <li>2. Urban terrace: A gathering space for tenants and visitors with opportunities for programmed activities.</li> <li>3. Biophilic design at the lobbies blurring the line between inside and outside.</li> </ol>



Introduction  
R&D Lab / Office  
Amenities  
Pavilion  
Neighborhood  
Team

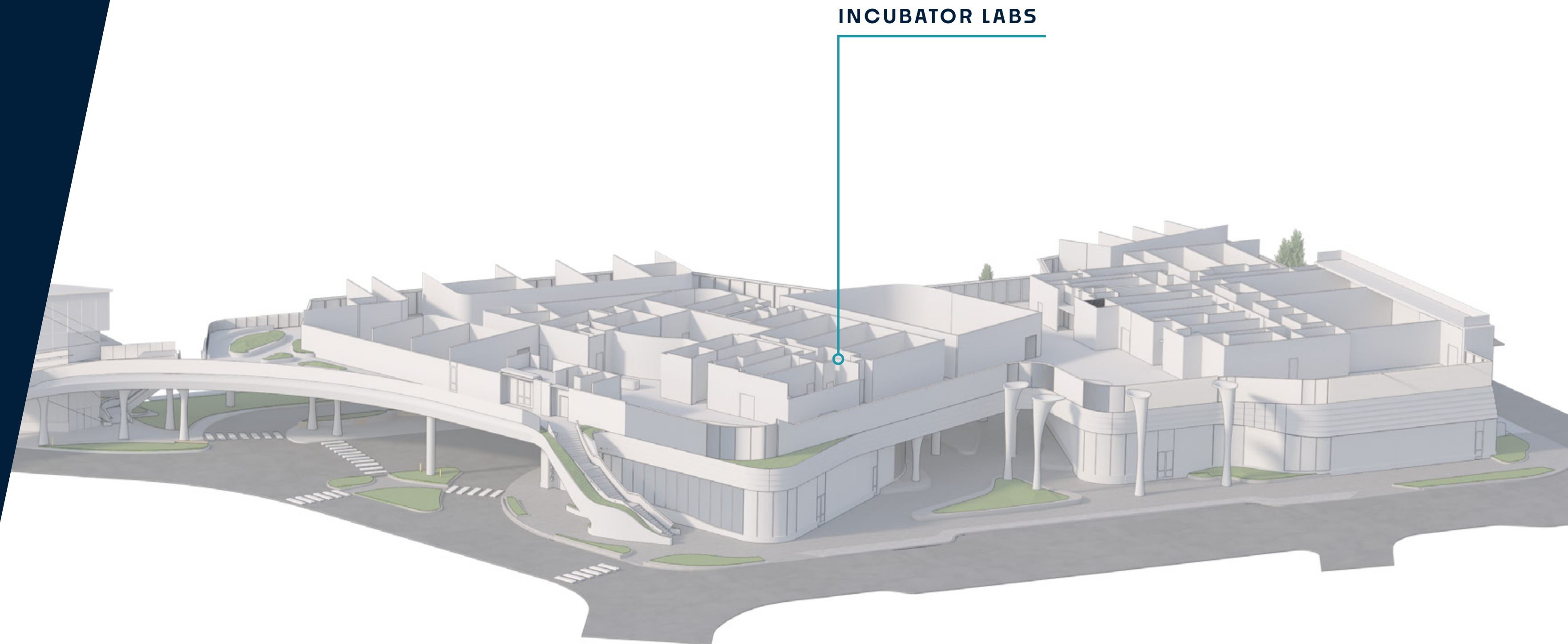
☰ ROBUST AMENITY PROGRAM

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<b>Level 1</b>	<b>N/A</b>	<b>Lobby</b>
Level P1	N/A	Parking



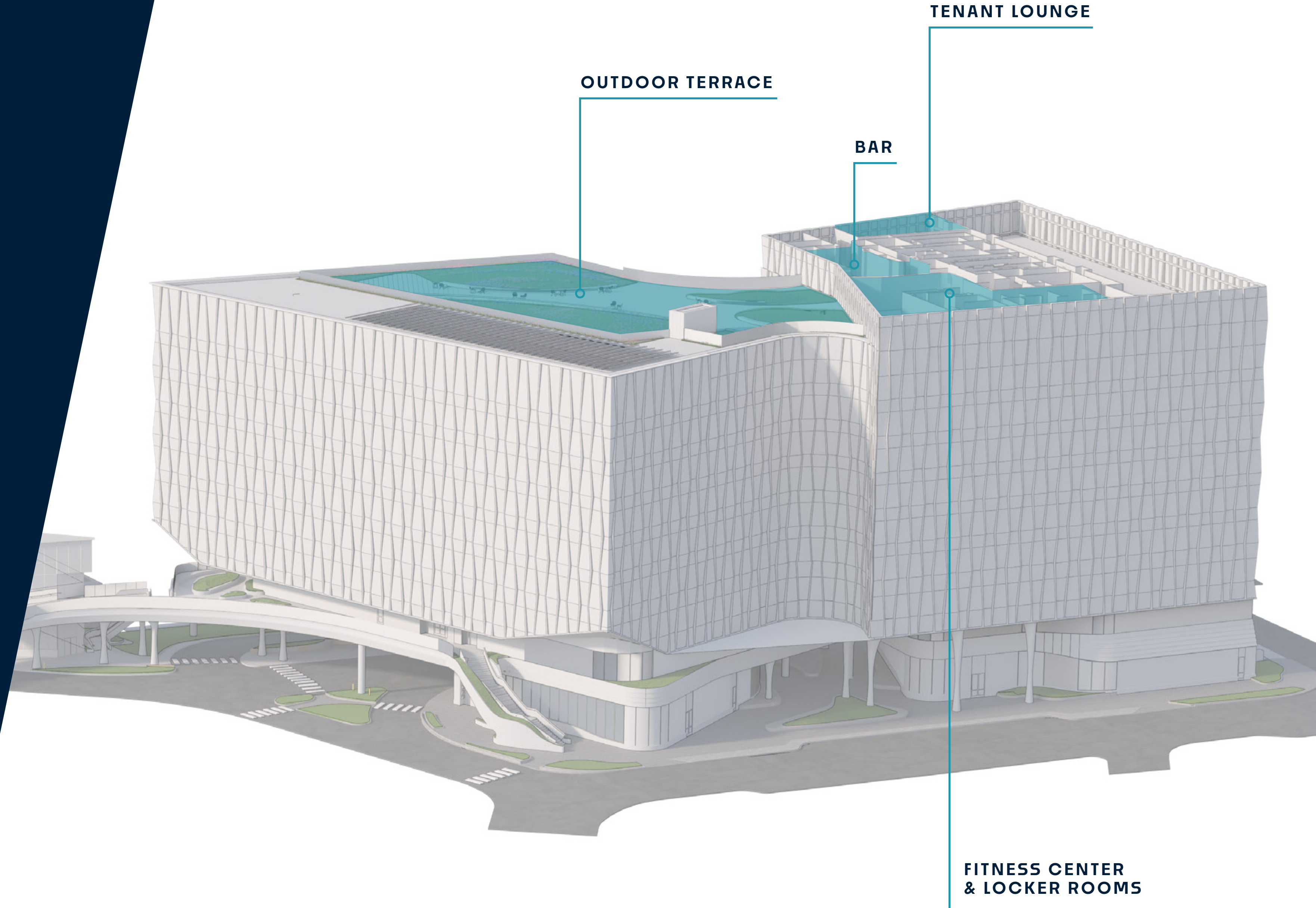
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AMENITIES: TENANT LOUNGE



☰ AMENITIES: OUTDOOR TERRACE



☰ AMENITIES: OUTDOOR TERRACE





# From Seaport Circle to Anywhere

30 SEC

from Lobby to Silver Line Platform

7 MIN

from Logan Airport

10 MIN

from South Station

14 MIN

from Downtown Boston









Introduction  
R&D Lab / Office  
Amenities  
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# South Boston Waterfront Job Training Pavilion

16K SF

Pavilion

COMMUNITY  
TRAINING

Labs

STEM

Training & Career Center

















## GMGI

Addresses the critical challenges facing our oceans, human health, and the environment through innovative scientific research and education.

### STUDENTS

Recent high school graduates aged 18-28

### PROGRAM DETAILS

10-month certificate program for careers as lab technicians.

SummerSTEM: Week-long programs for middle and high school students



## Just-A-Start

Builds equitable and thriving communities by guiding individuals and families on their path to economic stability through affordable housing, career training, and comprehensive support services.

### STUDENTS

Adult career training for anyone 18 and up

### PROGRAM DETAILS

19-month Biomedical Careers Program & IT Careers Program



## MassBioEd

Builds a sustainable life sciences workforce through educational programs that engage and excite teachers, inspire and propel students, and illuminate the path from class to career.

### STUDENTS

Ages 19-20

### PROGRAM DETAILS

17-month Apprenticeship program for BioManufacturing Technicians (BMTs) or Clinical Trial Associates (CTAs)





Introduction  
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# The Boston Seaport: Home to Everything

95+

Eateries

30+

Hotel & Transit Options

50+

Retail Stores

43-MILE

Waterfront Public Walkway







» **AMENITIES**

- FOOD & DRINK ●
- RECREATION / CULTURE ●
- HOTELS ●
- FITNESS / WELLNESS ●

CORPORATE NEIGHBORS  
ACCESS

LEATHER DISTRICT

FORT POINT

SEAPORT

SEAPORT CIRCLE

Boston Convention and Exhibition Center

Laugh Boston

Lawn on D

Hyatt Place

Harpoon Brewery

Flour Bakery

Chickadee



PURCHASE ST

SUMMER ST

DORCHESTER AVE

A ST

W SECOND ST

D ST

E ST

FARGO ST

SUMMER ST

CHANNEL ST

HARBOR ST

DRYDOCK AVE

NORTHERN AVE

FID KENNEDY AVE

NORTHERN AVE

B ST

Envoy

The Barking Crab

Equinox

Kings

Boston Children's Museum

Trillium

Trader Joe's

Lucky's

Row34

Bartaco

City Tap House

Lucky's

Row34

Lucky's

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Hyatt Place

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Harpoon Brewery

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Harpoon Brewery

Lord Hobo Seaport

Lord Hobo Seaport

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Lord Hobo Seaport

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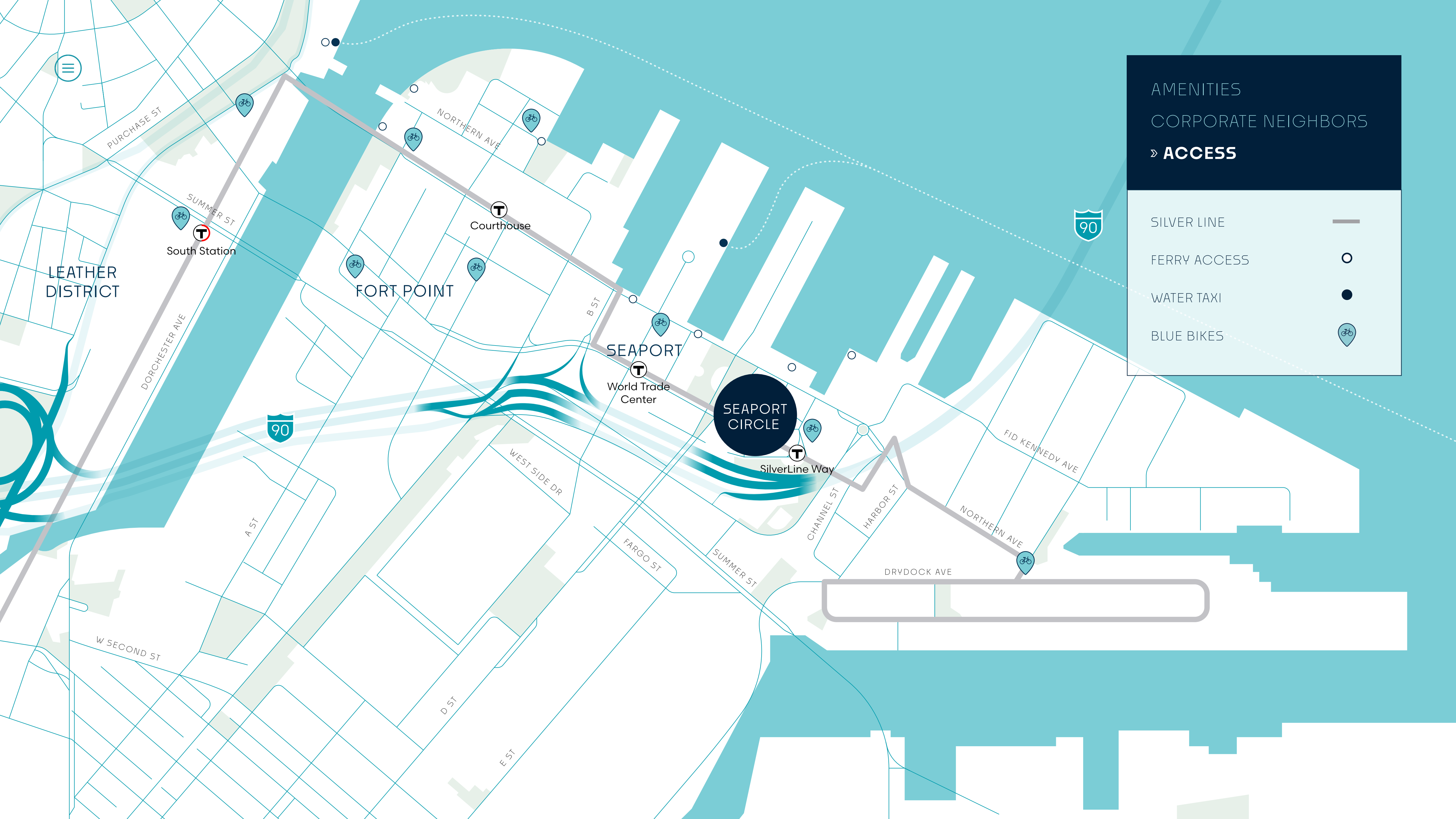
Lord Hobo Seaport

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AMENITIES  
» **CORPORATE NEIGHBORS**  
ACCESS





AMENITIES  
CORPORATE NEIGHBORS  
» ACCESS

SILVER LINE	—
FERRY ACCESS	○
WATER TAXI	●
BLUE BIKES	🚲

LEATHER DISTRICT

FORT POINT

SEAPORT

SEAPORT CIRCLE

South Station

Courthouse

World Trade Center

SilverLine Way





Introduction  
R&D Lab / Office  
Amenities  
Pavilion  
Neighborhood  
Team

**LINCOLN  
PROPERTY  
COMPANY**

**ARROWSTREET**  
ARCHITECTURE & DESIGN

 **MOODY•NOLAN**

**STUDIO ENÉE**

**Our Promise:**

At the Lincoln Property Company, we are committed to fostering strong partnerships and servicing the local community. Seaport Circle offers mentorship and education programs that help support Diversity, Equity, and Inclusion (DEI) across neighboring, underserved communities throughout the Greater Boston region.

**CO-DEVELOPERS/LOCAL EQUITY**

Lincoln Property Company  
Phoenix Property Company  
Boston Innovations Land (MBE)  
Boston Collaborative Advisors (WBE)

**EQUITY LP INVESTOR**

Rockwood Capital  
BASIS/BREIF (MBE)

**ARCHITECTS**

Arrowstreet  
Moody Nolan (MBE)  
STUDIO ENÉE (W/MBE)

**LEGAL**

Nutter McClennan & Fish

**STRUCTURAL ENGINEER**

McNamara Salvia  
Biggs Engineering (WBE)

**CIVIL ENGINEER**

Nitsch Engineering (WBE)

**TRAFFIC ENGINEER**

Howard Stein Hudson

**GEOTECH ENGINEER**

Haley & Aldrich

**MEP/FP/SUSTAINABILITY**

Arup

**CONTRACTORS**

Suffolk Construction  
General Air (MBE)  
Elaine Construction (WBE)

**PLACEMAKING**

Davenport Advisors (MBE)

**OPERATIONS**

UHM Properties, LLC (MBE)

**LANDSCAPE DESIGN**

Klopfer Martin Design Group (WBE)

**PERMITTING/TRANSPORTATION**

VHB





# SEAPORT CIRCLE

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